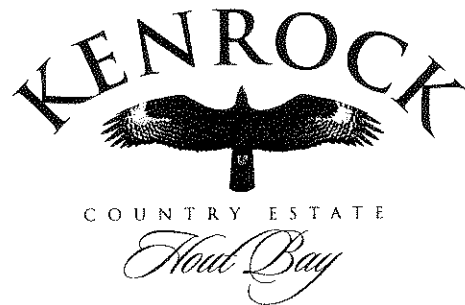


ANNEXURE B1  
ARCHITECTURAL  
DESIGN MANUAL



Compiled by Dennis Fabian Berman Hackner Architects  
*January 2002*

# ARCHITECTURAL DESIGN MANUAL



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# 1 INTRODUCTION

Thank you for buying into Kenrock. The purpose of this architectural and the landscape design manual is to inform owners and their architects or designers of the building and landscaping requirements for the estate and to provide information relating to the procedure to be followed in order to obtain the necessary approval from the Kenrock Homeowners Association ("Association") for all buildings and structures to be erected on each erf and any alterations and additions thereto.

The vision for Kenrock is to create a secure and peaceful mountain village comprising 94 houses situated in a high quality landscaped environment. The focal points of the landscaped area will be the forest, dams and wetlands within the private open space in the estate.

It is intended that this design manual will allow for a fairly broad range of personal choice in the external appearance of the houses but that the overall character of the development will be identifiable by the use of certain unifying external elements such as the colour and finish of external walls, roof coverings and, importantly, a standardised form of boundary and site walling. The nature of the landscaping will also contribute to this objective.

It is important that owners buy into the vision for Kenrock and it is vital that they work together with and support the Association in implementing this design manual. It should be borne in mind that we should strive to create an environment in Kenrock where the whole is greater than the sum of the parts and in so doing owners may need to make compromises for the benefit of all.

## 1.1 Development Concept

Kenrock, sited on the foothills of Table Mountain in Hout Bay, is a unique and special location, the meeting place of the mountain and valley, where the rising slopes offer vistas to the valley below and mountain ridge above.

The development of Kenrock has been one of a holistic approach, whereby the architecture and landscaping result in a development sympathetic to the natural mountain setting.

To this end, dwellings should be contextually sympathetic to the topography and natural hues of the environment.



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The resulting architecture should be one in which mountain lodge type buildings of modest scale "grow" out of the site. It is expected that architectural concepts be developed with sympathy to the environment and that the introduction of "foreign" styles such as "Tuscan" or "Georgian" will not be allowed.

Buildings should be seen as a series of forms whereby each form's siting, height and scale will respond and adjust to the mountain's topography. Large scale cut and fill is seen as very unsympathetic and will not be allowed.

The intention is to develop a unique cohesive architectural character, as an appropriate response to a sensitive environment evocative of mountain lodge type architecture. This will be promoted by the use of natural stone, timber and other specific building materials that will be common throughout Kenrock.

Earthy and natural tones will allow buildings to merge with the landscape, and together with natural stone retaining walls, create a development that compliments the environment rather than contrasts it.

## **1.2 Plan approval process**

It is recorded that the local authority has approved the terms and conditions of this manual. No amendments to, or departures from, the terms and conditions of this manual will be allowed without the written consent from a duly authorised representative of the local authority.

1.2.1 The owner must obtain from the Association, prior to the submission of the design concept and sketch plans, a list of the requirements relating to the details to be provided for the plan approval process and also obtain all documentation including erf diagrams, services connection diagrams and contour plans that may be required in order to facilitate the design process. The minimum submission requirements are listed under paragraph 19 below.

1.2.2 It will be the responsibility of an owner to ensure that he or she is in possession of the current version of the design manual.

1.2.3 The approval process will involve the following stages:

### **1.2.3.1 First Stage:**

The design concept and sketch plans must be submitted to the Association for approval.

A scrutiny fee will be payable when the plans are submitted.

### **1.2.3.2 Second Stage:**

After the design concept and sketch plans have been approved the detailed design and working drawings must be submitted to the Association for approval. Payment of the sidewalk deposit and/or rubble removal fee must be made prior to or simultaneous with this approval.



#### 1.2.3.3 Third Stage:

After the detailed design and working drawings have been approved they must be submitted to the local authority for approval. Certain prescribed fees will be payable at this stage to the local authority.

Should the requirements of the local authority or any other statutory authority or the National Building Regulations conflict with this design manual then such other requirements will take precedence.

### 1.3 Building process

- 1.3.1 The owner must obtain from the Association a list of the requirements relating to the building process.
- 1.3.2 A monthly building management fee and/or sidewalk deposit will be payable. The sidewalk deposit less deductions, if applicable, will be refunded at the end of the building period.
- 1.3.3 The Association will be entitled to regulate the activities of all building and other contractors and determine that the contractor(s) and the owner enter into an environmental contract with the Association for this purpose.
- 1.3.4 No building shall commence until all the relevant requirements shall have been complied with.

## 2 BUILDING ENVELOPE

### 2.1 Coverage:

Coverage refers to all buildings including main dwellings, garages, outbuildings, verandahs and balconies, as well as second dwelling/granny flat

#### 2.1.1 Single Residential Erven

- 2.1.1.1 Erf > 1000m<sup>2</sup> the maximum allowed coverage, may be 600m<sup>2</sup> provided that all other building line and other architectural conditions be adhered to.
- 2.1.1.2 Erf < 1000m<sup>2</sup> allowed a maximum coverage of 50% for all buildings.
- 2.1.1.3 A maximum of 30% of the building footprint will be allowed to be double storey.
- 2.1.1.4 The minimum house size that will be allowed is 150m<sup>2</sup> inclusive of garages and outbuildings.

#### 2.1.2 Rural Erven

- 2.1.2.1 Maximum footprint of 600m<sup>2</sup> for all buildings.
- 2.1.2.2 Full double storey will be allowed for all buildings.



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## 2.2 Building Lines

The building lines for each erf are indicated on the individual "Property Diagrams". These diagrams form part of this design manual and the necessary departures from the Zoning Scheme Regulations have been granted for the building lines. Registered services and access servitudes are also indicated on the "Property Diagrams" and such servitudes must be complied with.

Additional departures have been granted to the above building lines, when necessary, to permit building lines for structures as described below:

### 2.2.1 Single Residential Erven:

#### 2.2.1.1 Street Boundary

- |     |                |   |      |
|-----|----------------|---|------|
| i   | Garages        | - | 1,5m |
| ii  | Swimming Pools | - | 2,0m |
| iii | Pergolas       | - | 0,0m |
| iv  | Braais         | - | 0,0m |

#### 2.2.1.2 Side / Common Boundary:

- i 1,5m for a braai.
- ii 1,0m for a swimming pool.
- iii 0,0m for a pergola on the side boundary.
- iv 0,0m for a garage or outbuilding up to 10m along the length of one side boundary provided that:
  - the height of the building measured externally is no more than 3,5m from the highest point to the NGL measured directly below it, and
  - no windows or other overlooking features (including roof terraces) occur on the common boundary.

#### 2.2.1.3 Private Open Space:

- i 3,0m for balconies
- ii 1,0m for swimming pools
- iii 3,0m for braai
- iv 2,0m for pergola
- v 3,0m for side boundary walls

#### 2.2.1.4 Double Storey:

- i An additional meter must be added to the building lines for the upper storey of a double storey dwelling.



#### 2.2.2 Rural Erven:

- 2.2.2.1 Setbacks for rural erven sites will be as per the supplementary Kenrock "Property Diagrams" which indicate maximum building envelopes.

### 3 BUILT FORM

Careful consideration shall be given to the scale proportion and articulation of building forms, as these, together with the use of stonework, openings in walls, etc. are very important to create a cohesive architectural character.

The architecture should be seen as an additive one where a series of major plan form elements are connected by minor plan form elements rather than a monolithic sculptured architecture.

#### 3.1 Plan Shapes

- 3.1.1 A singular rectangular built form, or composite rectangular forms, is required. Rectangular forms within an erf may be offset at any angle relative to the boundary but not offset relative to one another.

- 3.1.2 Plan forms are to be composed of a single or series of rectangular major plan forms which are connected to one another, and are articulated with minor plan element.

##### 3.1.2.1 Major plan forms:

- i These must have pitched roofs and are limited to 6.5m maximum width and 4,0m minimum width, and must be at least 6,0m in length.
- ii Major plan elements should respond to the topography of the site and level changes are encouraged on sloping sites.
- iii There will be a requirement that all houses be articulated with a simple rectangular chimney. This chimney is to be a minimum of 800 mm wide and will have a length at least two times, its width but not more than three times, its width.

##### 3.1.2.2 Minor plan elements:

- i These will consist of the following:
  - Verandahs/Lean-to's
  - Chimneys
  - Concrete roofs
  - Pergolas
- ii Verandah/Lean-to's will be limited to two-thirds the width of the major plan form. Verandahs and Lean-to's will have roof pitches to match between 5° and 15°.
- iii A concrete flat roof may be used as a linking element between major plan forms. Concrete roofed elements should be utilized at level changes between major plan form elements.





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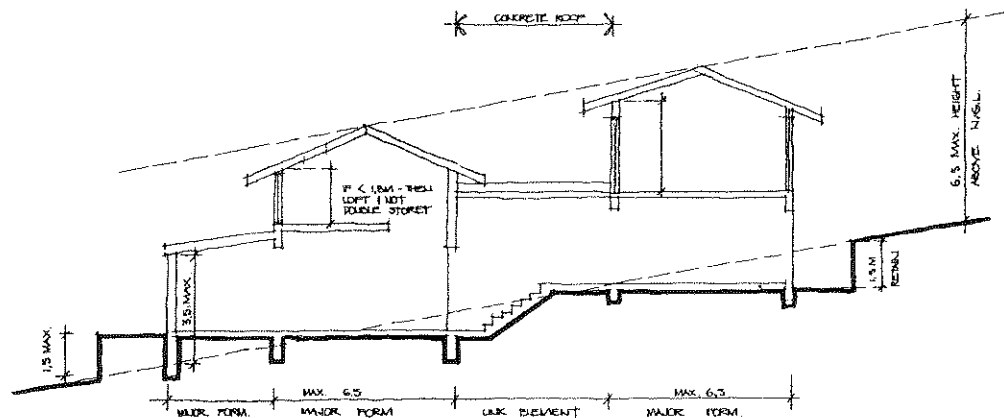
iv Note however that

- plan shapes of concrete roof linking elements need not be rectilinear.
- concrete flat roof elements must be attached to at least two sides of a major plan form.

Concrete flat roofs may be used over terraces.

## 3.2 Wall Heights

### 3.2.1 General Guidelines



3.2.1.1 The nature of the majority of sites at Kenrock is one of steep gradients and it is therefore imperative that the site topography be taken into account when designing each house.

3.2.1.2 Buildings should fit comfortably into the natural contours and orientation of the site and should be stepped/terraced over the site. To this end the house should remain predominantly single storey or be split-level.

### 3.2.2 Single Residential Erven:

#### 3.2.2.1 Maximum Height:

- No portion of the building will be higher than 6,5m above the point of the natural surface of the ground, vertically below it. Chimneys are exempt from this restriction.
- Note: Natural ground levels (N.G.L) are considered as the levels documented on existing contour survey and indicated on the individual "Property Diagram" of each erf.  
Any deviation to be confirmed by a registered land surveyor.

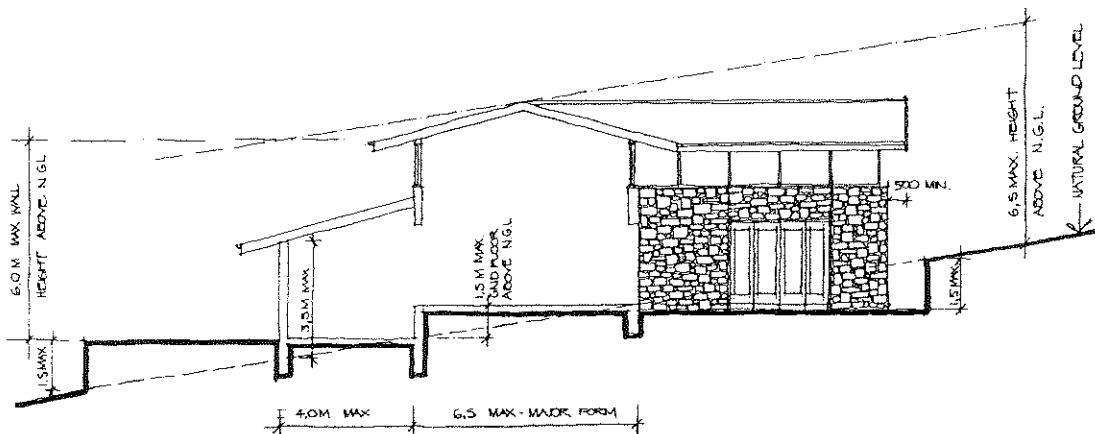


### 3.2.2.2 Wall Heights:

- i No vertical face of solid wall, be it stone, plaster or glass, will be higher than 6,0m measured externally from the natural ground level below it.
- ii The maximum height of a lean-to verandah element will be 3,5m above natural ground level vertically below it.
- iii The ground floor finished floor level may not rise higher than 1,5m above or below the natural ground level.
- iv The minimum wall plate height for a single storey portion of a building will be 2,4m.

### 3.2.3 Double Storey

- i A double storey will be defined as any first floor above the ground floor, which has a floor to wall plate height greater than 1,8m.
- ii Only 30% of the footprint of the building may be double storey.



### 3.2.4 Rural Erven:

#### 3.2.4.1 Maximum height:

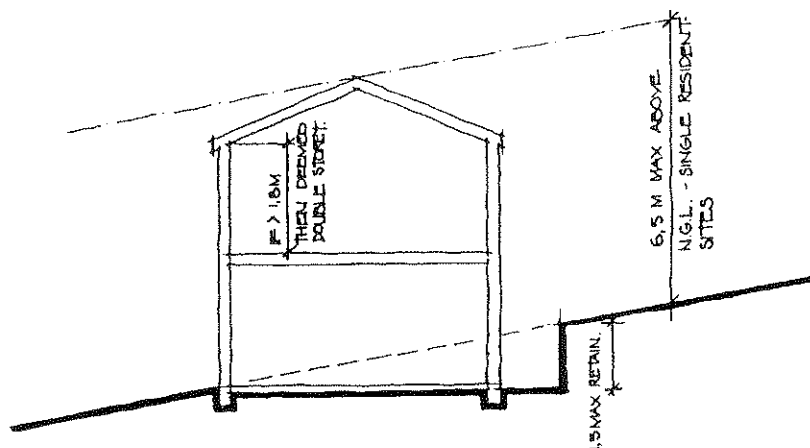
- i No portion of the building will be higher than 8,0m above the point of the natural surface of the ground vertically below it, chimneys are exempt from this restriction.

#### 3.2.4.2 Wall heights:

- i No vertical face of solid wall, be it stone, plaster or glass, will be greater than 7,0m measured externally from the natural ground level below it.
- ii The minimum wall plate height for a single storey portion of a building will be 2,4m.



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#### 3.2.4.3 Double Storey:

- i The maximum allowed footprint for a rural erf is 600 m<sup>2</sup> and full double storey is allowed.

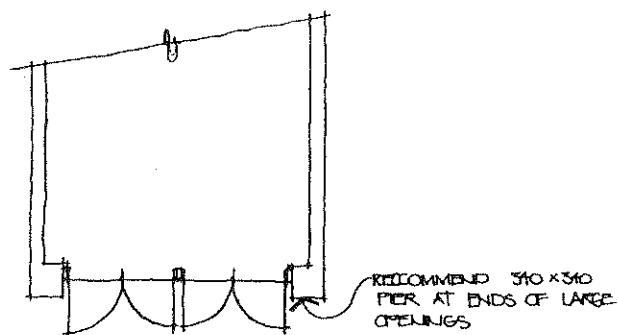
### 3.3 Wall Construction

- 3.3.1 All external masonry walls to be at least 280mm cavity wall construction where masonry walling is used.
- 3.3.2 Timber "ship lapped" hardwood boarding, painted to the same colours as that used for the masonry walls of the main dwelling, will be permitted.

### 3.4 Wall Finishes

#### 3.4.1 General

- 3.4.1.1 It will be encouraged that rising plinth walls, used to create level building platforms, be clad with natural stone



- 3.4.1.2 It will be encouraged at large horizontal window/door openings that the walls end in pier type elements 340mm x 340mm, to emphasize the transition from solid to void.



3.4.1.3 No face brick work will be allowed.

3.4.1.4 No quoining or rustication will be allowed.

3.4.2 Specific Wall Materials:

3.4.2.1 Natural Stone - Table Mountain Sandstone (or approved equivalent) to match existing sample stone walls on site.

3.4.2.2 The following elements must be clad in natural stone.

i Chimneys

ii Boundary walls that front onto street and open spaces.

3.4.2.3 Plastered Walls - Vertical brush texture or indiscriminate scratch texture or smooth plaster.

3.4.2.4 Timber ship lapped boarding - Timber Hardwood ship-lapped boarding, painted finish as per the walls of the main house.

3.4.2.5 Materials not allowed:

i No metal sheeting products will be allowed as wall material.

ii No bagged brickwork will be allowed externally.

3.4.3 Wall Colours

3.4.3.1 Wall colours should be muted earth tone colours to allow buildings to blend with the natural environment. To this end no white or "unnatural" colours will be permitted that would make the building starkly contrast the natural colours of the environment.

3.4.3.2 All external walls on an erf may only be painted one colour.

3.4.3.3 No form of "paint technique" or other form of decorative painting will be allowed externally.

3.4.3.4 The following wall colours will be permitted (or similar approved):

i Plascon Colour Expressions

ii E19 - 4 Sandy Stream

iii E14 - 3 Papyrus

iv C13 - 6 PB Cookie

v C14 - 4 Wheat Germ

vi C15 - 3 French Fries

vii C16 - 3 Cream of Potato

3.4.3.5 No elements "highlighted" by the use of colours eg. window surrounds will be permitted.



## 4 ROOFS

### 4.1 General

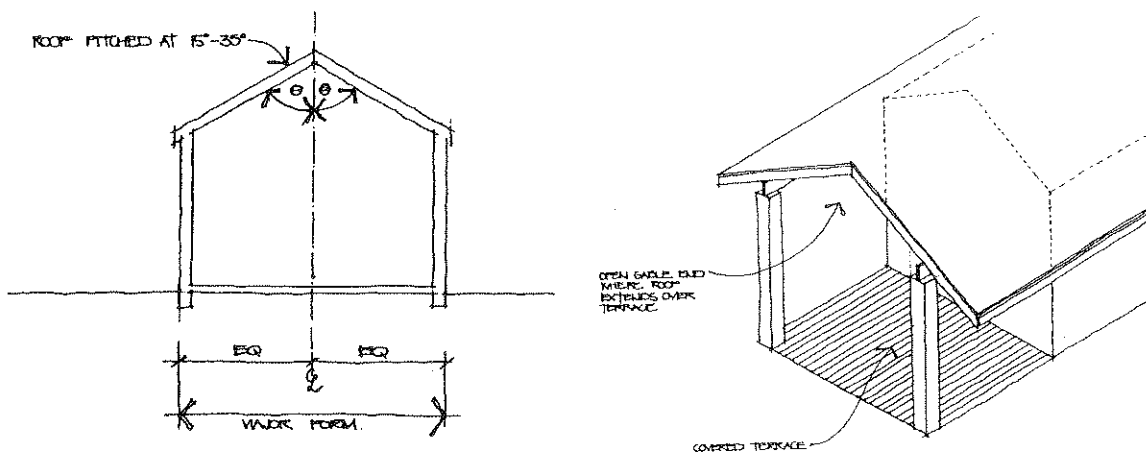
It is encouraged that major plan forms are roofed individually, this should occur in part due to the different levels major plan forms will take due to the topography of each site. Major plan forms should be connected with linking elements eg. concrete flat roofs, parapet walls.

### 4.2 Roof Form

#### 4.2.1 Double pitched roofs:

4.2.1.1 Double-pitched roofs over a major plan element with a maximum slope between  $15^\circ$  and  $35^\circ$  must be used. The ridge must fall on the centerline of the major plan form and the roof must be symmetrical around the ridge.

4.2.1.2 Major plan form roof elements may extend to cover terraces but where this occurs, gable ends must be open (i.e soffit to follow line of roof.)



#### 4.2.2 Lean-to / Verandah Roofs:

4.2.2.1 Lean-to roofs will be connected to major forms.

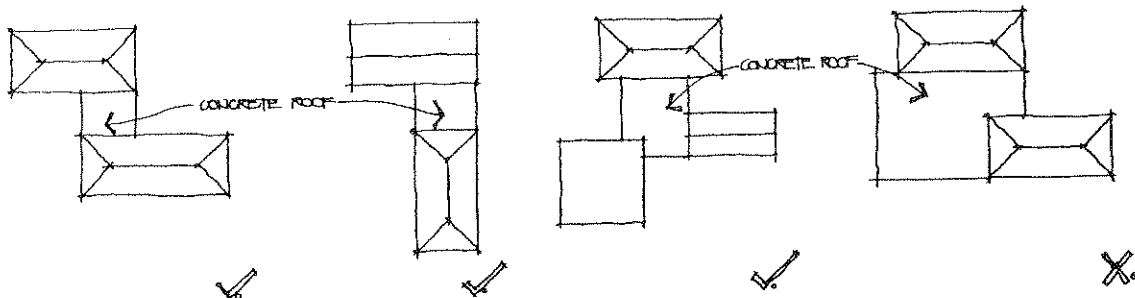
4.2.2.2 Lean-to and verandah roofs are to have a pitch between  $5^\circ$  and  $15^\circ$ .

#### 4.2.3 Concrete Roofs:

4.2.3.1 Flat concrete roofs with parapets may be necessary to use to connect a series of major plan forms.



- 4.2.3.2 Concrete roofs must be utilized between at least 2 major plan forms or 1 major plan form and a garage, and may not project beyond the line of the major plan forms.
- 4.2.3.3 The extent of concrete flat roof element will be limited to 20% of the total footprint of the house.



- 4.2.3.4 Concrete roofs may be utilized as roof decks, however these may not address neighbouring residential properties and screening may be to prevent possible overlooking.
- 4.2.4 Garage Roof
- 4.2.4.1 Garages may form part of the major plan form and the garage roof will form part of the main building's roof.
- 4.2.4.2 Free standing or semi-detached garages should be roofed with the same roof element as the major plan form or with a flat concrete roof concealed by the use of parapet walls.
- 4.2.4.3 Under certain conditions it will be allowed that habitable space be created on top of garages provided that all other architectural restrictions are adhered to.

#### 4.3 Roof Materials & Colour

##### 4.3.1 Major and minor form roofs:

###### 4.3.1.1 Roof coverings may be:

- i IsoChromadek pre-painted corrugated steel – colour “Dark Dolphin” (or approved similar)
- ii Hulletts “Hula-Span S13” corrugated aluminium roof sheeting – colour “Charcoal Grey”
- iii Natural Slate Tiles – Mazista “Sunset” or “Silver Blue” slate tiles or similar approved.
- iv Everite Roof Slate – or similar approved, painted Charcoal.

##### 4.3.2 Concrete Flat Roofs:

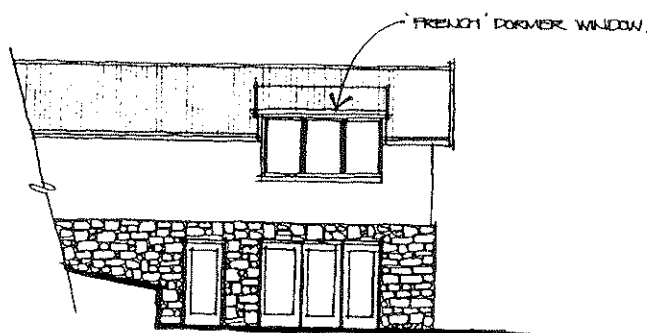
- 4.3.2.1 Concrete flat roofs will be finished with a minimum of 13mm diameter Worcester washed river pebbles at least 50mm thick.



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#### 4.4 Dormer Windows

- 4.4.1 Dormer windows must be orientated to face either a communal open space area or to the street.
- 4.4.2 Only "French" Dormer windows will be allowed in the roofs of major plan form elements.
- 4.4.3 Dormer windows will be a minimum of 750mm high and at least 3 x the height in length.
- 4.4.4 No double pitched roofed dormer windows will be allowed.
- 4.4.5 Roof materials over Dormer windows will match that of the roof of the major plan form.
- 4.4.6 Dormer window colours and finishes to match windows of house.

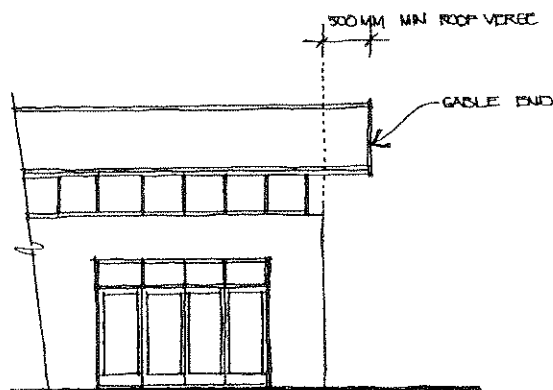


#### 4.5 Roof Windows

- 4.5.1 Velux or similar approved roof windows used in the plane of the roof will be permitted. Maximum size will be 780mm x 1400mm.
- 4.5.2 No pyramidal styled roof-lights will be permitted.

## 5 GABLES, EAVES, PARAPETS AND GUTTERS

#### 5.1 Gables





5.1.1 Gable ends may be allowed, however no parapet walls to gable ends will be allowed.

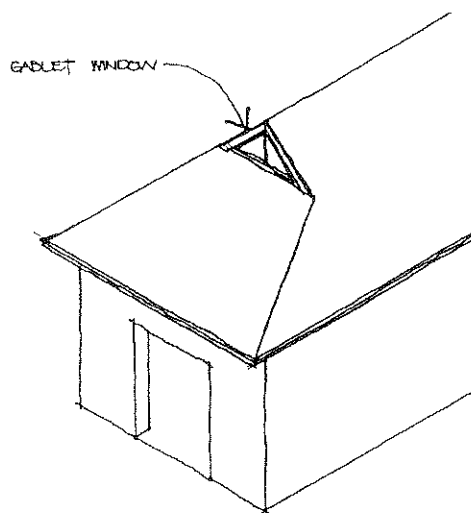
5.1.2 The gable verge must project 500mm beyond the wall face.

5.1.3 Gable ends may be constructed using the following materials:

5.1.3.1 Fully glazed

5.1.3.2 Masonry to match walls of house

5.1.3.3 Timber shiplap boarding panels



5.1.4 Gablet type windows or vents may be utilized in hipped ends of major plan form roof elements.  
These will be limited to 1.0m in height vertically measured at the apex of the ridge.

## 5.2 Eaves

5.2.1 It will be encouraged that wide eaves are used to protect large areas of glass from direct summer sunlight.

5.2.2 Roofs may have "clipped" eaves with a minimum projection to incorporate gutter and fascia (i.e 170mm.)

## 5.3 Parapets

5.3.1 Where parapet walls are used in conjunction with a concrete flat roof the parapet may not project more than 300mm above the finished level of the top of the finished roof surface.

5.3.2 Parapet walls should be finished with a flat smooth plastered coping 100mm high, projecting 20mm from the vertical wall face or in a natural stone cutting when used in stone walls

## 5.4 Gutters

5.4.1 Gutters will be optional, but where gutters are used, simple pre-painted aluminium watertight O.G type or half-round type gutters, or half-round type gutter will be utilized. Gutters will match the roof colour.





## 6 CHIMNEYS

- 6.1 At least one chimney element must be used per house.
- 6.2 Chimneys will be restricted to simple rectangular plan shapes, minimum width 800mm, and minimum length 2 times the width. Chimneys must project at least 1,0m above the ridgeline of the major plan form roof, through which the chimney penetrates.
- 6.3 Chimneys must be either fully clad in natural stone or constructed out of natural stone to the same specifications as the walls.
- 6.4 Internal Jetmaster flues must have a masonry surround to match prescribed chimney.

## 7 WINDOWS

Window openings should be square or horizontal in proportion. However windows may have vertical proportions within the opening by means of glazing bars.

### 7.1 Window Types

- 7.1.1 The following window types will be allowed.
  - 7.1.1.1 Side hung casement
  - 7.1.1.2 Vertical sliding
  - 7.1.1.3 Horizontal sliding
  - 7.1.1.4 Top hung casement
- 7.1.2 The following will not be allowed:
  - 7.1.2.1 External burglar bars
- 7.1.3 No profiles may be less than 45mm x 65mm
- 7.1.4 No "windblock type" concrete window frames will be permitted.

### 7.2 Clerestory windows

- 7.2.1 The use of clerestory windows will be permitted, and the use of this element will be encouraged.

### 7.3 Window Finishes

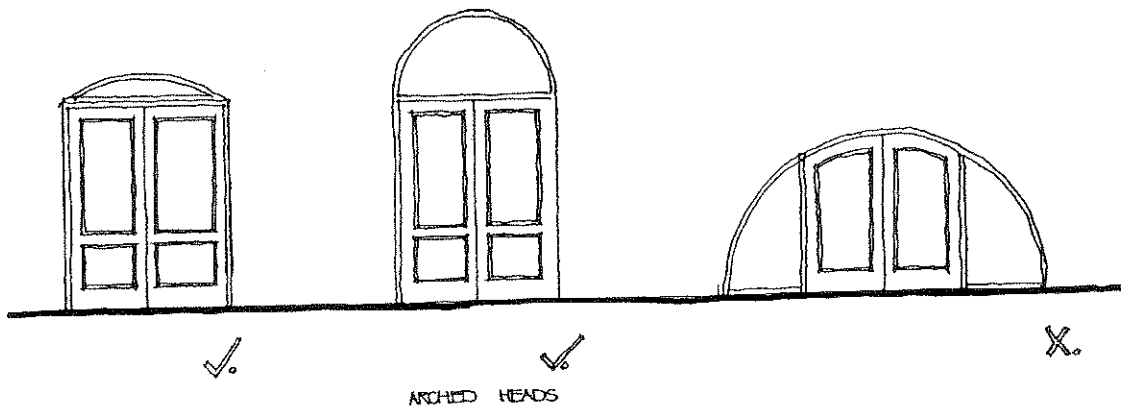
- 7.3.1 Windows should be made from either:
  - 7.3.1.1 Timber – (clear natural or painted)
    - i Clear natural
    - ii Plascon "Neutral" E16-4



- iii Plascon "Gunpowder" E28-6
- 7.3.1.2 Aluminium – powder coated.
  - i Du Pont "Seidengrau" (RAL 7044)
  - ii Du Pont "Graphitgrau" (RAL 7024)
- 7.3.1.3 Aluminium Natural Anodized

#### 7.4 General

- 7.4.1 No reflective and/or "mirror" glass will be allowed.
- 7.4.2 Only one window frame colour will be allowed per house.
- 7.4.3 Glass standards to conform to the National Building Regulations.



## 8 DOORS

### 8.1 Doors Types

- 8.1.1 Door openings may have square, vertical or horizontal proportions.
- 8.1.2 Doors within these openings should have a vertical or square proportion but may have an arched head.
- 8.1.3 External doors may be:
  - 8.1.3.1 Solid double paneled timber.
  - 8.1.3.2 Vertical or horizontal boarding.
  - 8.1.3.3 Timber or aluminium framed glazed doors.



#### 8.1.4 General

- 8.1.4.1 No ornate carved timber doors will be permitted.
- 8.1.4.2 No Trelidor or other metal security door will be allowed externally.

### 8.2 Door Finishes

- 8.2.1 Doors should be made:
  - 8.2.1.1 Timber – natural clear finish or painted.
  - 8.2.1.2 Aluminium – powder coated.
  - 8.2.1.3 Aluminium – Natural Anodized.
  - 8.2.1.4 Colours to be same as for windows.

### 8.3 Garage Doors

- 8.3.1 The maximum number of garage doors facing the street will be two single garage doors separated by masonry piers.

If more than 2 garage doors are required to face the street, these must be accommodated in separate plan building elements.
- 8.3.2 Garage doors may be single in 2440mm openings or double in 4880mm maximum openings.
- 8.3.3 General
  - 8.3.3.1 No ornate paneled doors will be allowed.
  - 8.3.3.2 Natural timber garage doors will be encouraged, otherwise if painted, garage doors must match colour of the window and door colour used.

## 9 SHUTTERS

- 9.1 The use of functional timber shutters, fixed or adjustable is encouraged.
- 9.2 The colour of the shutters will match the colour of the doors and windows of the house, or be natural clear finish.
- 9.3 No non-functional shutters will be permitted.
- 9.4 No uPVC shutters will be permitted.

## 10 VERANDAHS & PERGOLAS

### 10.1 General Specifications

- 18 10.1.1 Minimum size of pergola rafter must be 150mm x 50mm.



10.1.2 No Victorian cast-iron post, "Brookie Lace" or other decorative detail will be permitted.

10.1.3 Pergolas may be covered with shade cloth – Black.

10.1.4 No I.B.R. profiles will be permitted, to cover verandahs.

## 10.2 Support Types

10.2.1 Natural stone pier minimum 340mm x 340mm.

10.2.2 Plastered masonry pier to match wall colour of house.

10.2.3 Double or single timber/steel posts with or without a 45° bracing at the top of the post. Minimum size of posts to be 100mm X 100mm.

10.2.4 A combination of a stone or masonry base with a single/double steel/timber post above.

## 10.3 Finishes and Colours

Verandah and pergola posts may be finished with the following:

10.3.1.1 Natural timber clear finish.

10.3.1.2 Masonry to be painted to match the external wall colours.

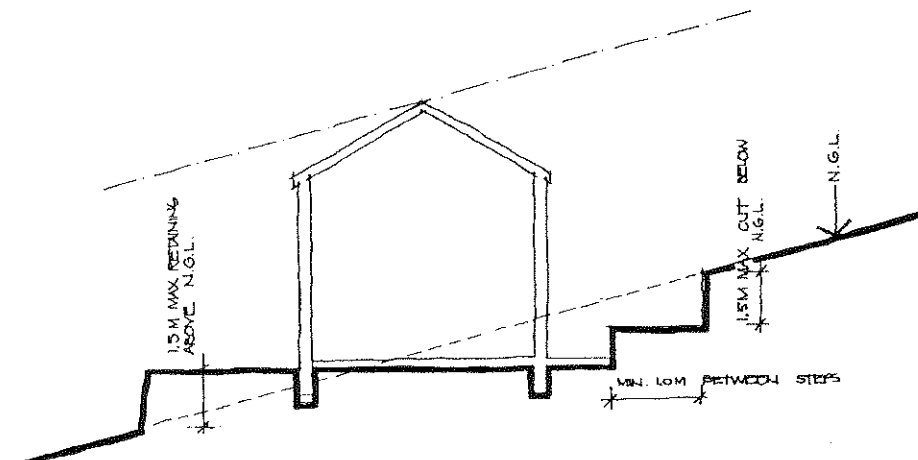
10.3.1.3 Steel/timber posts, if painted, must match the colour of window and doors of the house.

# 11 RETAINING STRUCTURES

## 11.1 General

It is imperative that the existing topography be carefully considered when siting of buildings, terraces and gardens are planned. To this end low retaining structures are to be used which are sympathetic to the natural contours of each site, provided that such retaining structure may not be higher than 1.5m. Retaining structures may be one of the following:

11.1.1 Stone retaining walls dry-pack stone or dry pack stone lining.





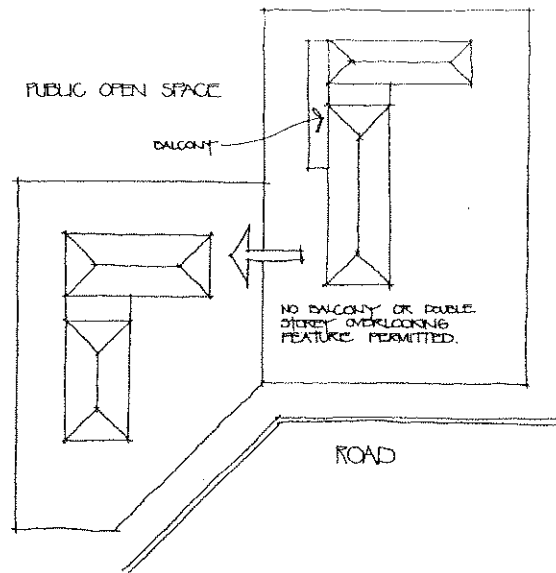
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- 11.1.2 Unpainted timber sleeper hardwood or tanalithic treated poles retaining walls and timber retaining structures may be used.
- 11.1.3 If used as a combination of stepped retaining walls, such consecutive retaining walls will be set back at least 1,0m apart in plan.
- 11.1.4 The natural ground level of the adjacent site must be reinstated.

## 11.2 Retaining structures on side boundary walls

- 11.2.1 Where a sloping site dictates the reinstating of the natural ground level of an adjacent site by means of a retaining structure, a retaining wall up to the natural ground level may be used on the boundary. Above this the boundary wall may be constructed.

# 12 BALCONIES AND ROOF TERRACES



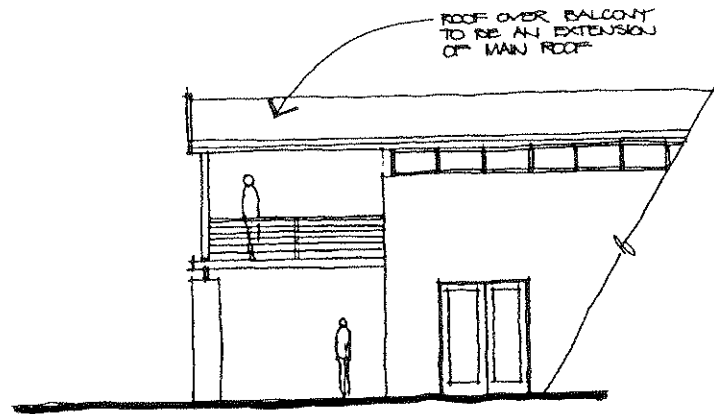
Provision has been made for balconies and roof terraces. It should be noted the section "3.2 Wall Heights" still applies.

## 12.1 General Specifications

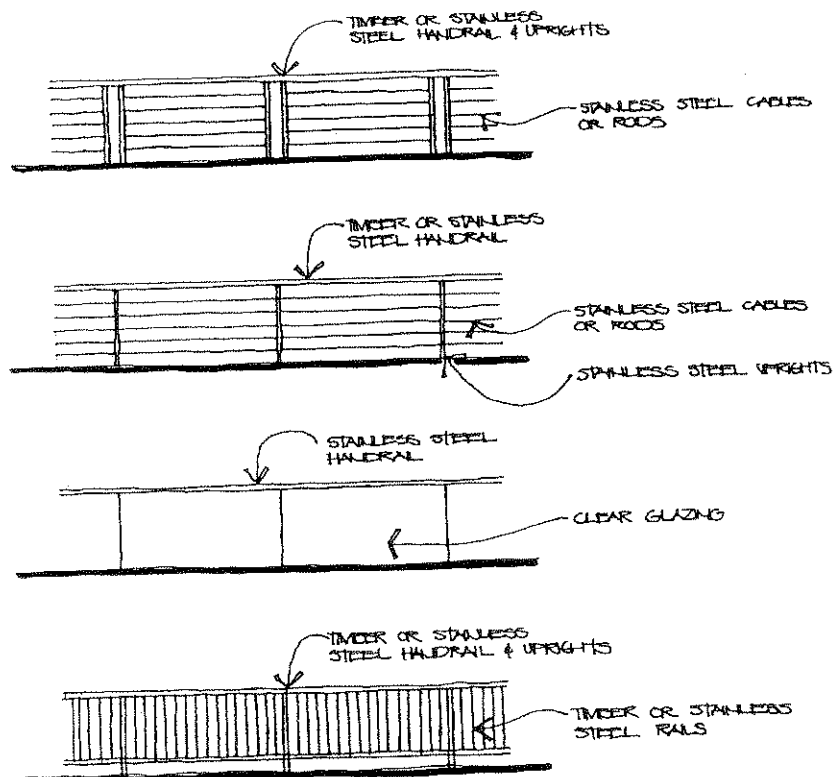
- 12.1.1 If a balcony or roof terrace is used it may not address an adjacent residential sites and may only be positioned so that it addresses either the street or the communal open space areas.



- 12.1.2 Balcony roofs must be in character with that of the main house, and may be an extension of the major plan form's roof.



- 12.1.3 Balcony supports follow the specifications for the supports of verandahs and pergolas.
- 12.1.4 Balconies, if roofed, must follow the specifications of the roofing of verandahs and pergolas.
- A balcony roof may, however, also be an extension of the roof of the major plan form.





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## 12.2 Balustrade

12.2.1 Balustrade to balconies / terraces will conform to National Building Regulations.

## 12.3 Balcony Screen Walls

12.3.1 Balconies should be screened at sides to prevent overlooking. This may be done by use of a timber lattice or screen to 1,8m above F.F.L of the balcony.

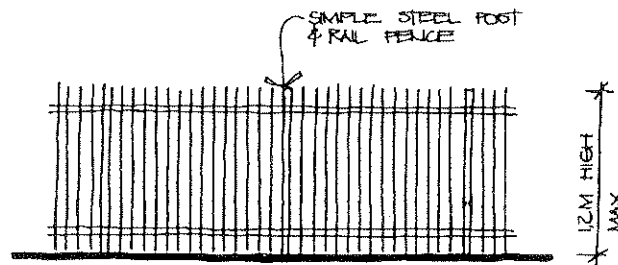
## 12.4 Floor finishes

12.4.1 Floor finishes to balconies must be muted natural tones.

# 13 BOUNDARY WALLS AND FENCES

## 13.1 General

13.1.1 The intention is to minimize boundary walls, and thereby create a more open rural setting as opposed to a traditional urban one.



13.1.2 Boundary walls and fences should form a cohesive part of the built form. They should be seen as an extension of the buildings on each site and must return to the building.

13.1.3 Boundary walls must be completed on both sides to minimum allowed specifications.

## 13.2 Street boundary walls

13.2.1 A 1,2m high (maximum) natural stone wall may be constructed on the street boundary. To create privacy it is allowed that this wall be raised up to a height of 2,1m for 40% of the street boundary.

13.2.2 A 1,2m high simple black metal fence may be used to enclose the street boundary.



### **13.3 Side / Common boundary walls**

13.3.1 A natural stone wall, or a masonry wall, plastered and painted on both sides to the same specifications as the house, may be constructed on the side/common boundary to a maximum height of 2,1m above natural ground level (NGL).

13.3.2 A simple black metal fence may be used to a maximum height of 1,2m on the side / common boundaries.

13.3.3 Masonry walls must be set back a minimum of 3,0m from the open space boundary and must

13.3.3.1 return to the main building, or

13.3.3.2 when projecting past the building form be articulated with a pier.

13.3.4 On a sloping site the masonry/stone walls will follow the natural ground contours. The Association may approve stepped walls and fences.

13.3.5 No additional walls or fences, other than the security fence erected by the Developer, will be allowed on any erf boundary that forms part of the cadastral boundary of Kenrock Country Estate.

### **13.4 Communal open space boundary walls**

13.4.1 A 1,2m high simple black metal fence only may be used to enclose the open space boundary.

### **13.5 Piers**

13.5.1 Stone/masonry walls will have piers at gate openings and these piers will have the minimum dimensions of 340mm x 340mm and will match the height of the wall in which they occur.

### **13.6 Fences not permitted include**

13.6.1 Vibracrete type fencing

13.6.2 Timber fences

13.6.3 Face brickwork

### **13.7 Gates in boundary walls**

13.7.1 Pedestrian gates will constructed from either:-

13.7.1.1 Solid Timber Natural or Painted – vertical or horizontal paneled

13.7.1.2 Powder coated/painted metal – vertical rail.

13.7.2 Note: Gates will match the wall/fence height they occur in.

13.7.3 All vehicular gates will be subject to scrutiny by the homeowners association.





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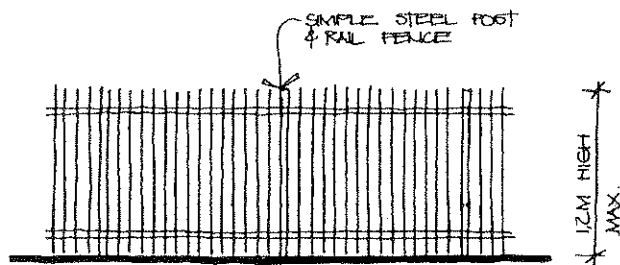
## 12.4 Floor finishes

12.4.1 Floor finishes to balconies must be muted natural tones.

# 13 BOUNDARY WALLS AND FENCES

## 13.1 General

13.1.1 The intention is to minimize boundary walls, and thereby create a more open rural setting as opposed to a traditional urban one.



13.1.2 Boundary walls and fences should form a cohesive part of the built form. They should be seen as an extension of the buildings on each site and must return to the building.

13.1.3 Boundary walls must be completed on both sides to minimum allowed specifications.

## 13.2 Street boundary walls

13.2.1 A 1,2m high (maximum) natural stone wall may be constructed on the street boundary. To create privacy it is allowed that this wall be raised up to a height of 2,1m for 40% of the street boundary.

13.2.2 A 1,2m high simple black metal fence may be used to enclose the street boundary.



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## 14 SWIMMING POOLS

### 14.1 Enclosures

14.1.1 Swimming pool fences/gates will comply with National Building Regulations and with Section 13.0 "Boundary Walls and Fences" and may only be painted black.

### 14.2 Drainage

14.2.1 Swimming pools must be pumped into the common sewerage system. They may never be drained into the landscape.

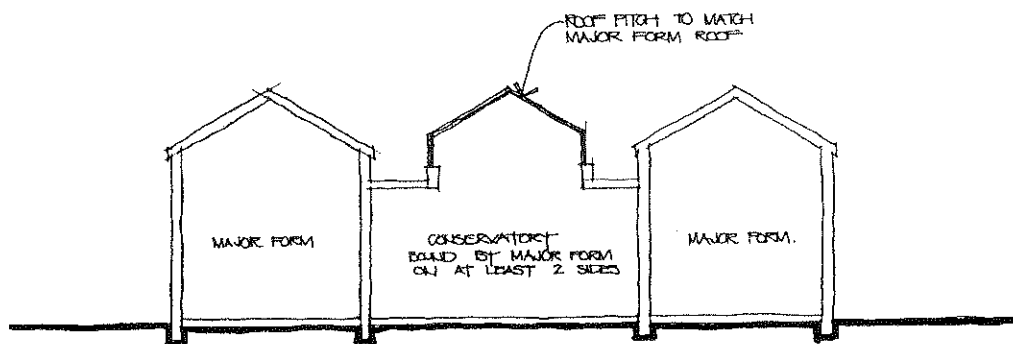
### 14.3 Pool Decks

14.3.1 Pool decks in natural timber will be allowed. Pool decks may not be higher than 1,0m above Natural Ground Level.

### 14.4 Swimming Pool Pumps

14.4.1 Pool filtration systems and pumps must be screened with either a natural stone wall or a masonry wall to match walls of main house.

## 15 CONSERVATORIES



15.1 Conservatories with glazed roof panels will be allowed if they are surrounded by a major built form on at least two sides.

15.2 Typically single panel glazing systems, with a roof pitch to match major house form and a clerestory will only be permitted. Mullion must match window frames of house.



## 16 PARKING, DRIVEWAY & CARPORTS

### 16.1 Parking

- 16.1.1 Every erf must provide off-street parking for at least 2 cars in addition to garaging.
- 16.1.2 The surfacing material for parking areas may be aggregate exposed concrete or brick paving as used in the roads of the estate, or constructed from cement stabilized laterite.

### 16.2 Driveways

- 16.2.1 Driveways will be a maximum of 6,0m wide at the road reserve.
- 16.2.2 Where a driveway of width more than 6,0m is required, the driveway surface area must be split by a planting strip of at least one meter.
- 16.2.3 The surfacing material for driveways may be aggregate exposed concrete or brick paving as used in the roads of the estate, or constructed from cement stabilized laterite.

### 16.3 Carports

- 16.3.1 Single or double carports will be permitted and will be either:-
  - 16.3.1.1 fully detached
  - 16.3.1.2 attached to a garage
- 16.3.2 Carports will match the roof of the garage and main house.
- 16.3.3 The supporting posts and roof of the carport will follow the same specifications as for verandahs/pergolas.

## 17 OUTBUILDINGS

### 17.1 General

- 17.1.1 Provision has been made to accommodate outbuildings.
- 17.1.2 The footprint for the outbuildings will be counted in the maximum allowable footprint.
- 17.1.3 Outbuildings will be subjected to the same criteria as the main building or the garage, whichever is relevant.

## 18 SERVICES

### 18.1 Satellite Dishes, TV Aerials and other Aerials

- 18.1.1 Satellite dishes and T.V aerials are allowed but must be inconspicuous.
- 18.1.2 No other aerials are allowed on the Estate.



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18.1.3 Colours must match colour of materials used in the building elements it is attached to.

## **18.2 Service Pipe**

18.2.1 Sewer and vent pipes are to be connected in vertical ducting within the wall plane of the building.

## **18.3 Air-Conditioning**

18.3.1 Air-conditioning condenser units to be installed at ground level, and screened within a 1,2m high natural stone wall. Window mounted units will not be permitted.

## **18.4 House Numbers and Signage**

18.4.1 Refer to the Landscape Guidelines.

## **18.5 Clothes Lines and Bin Stores**

18.5.1 Clothes lines and refuse bins must be screened by a 1,8m wall or concealed within a service court.

18.5.2 Walls to be either natural stone or plastered masonry to match main house.

## **18.6 Rainwater Tanks**

18.6.1 Collection of rainwater in rainwater tanks will be permitted, the type, size and siting of all rainwater tanks will be subject to the scrutiny of the Association.

## **18.7 External Lighting**

18.7.1 External lighting should be discreet and kept to a minimum. No external pole mounted street lamps will be allowed. Landscape lights must be discreet and not higher than 900mm.

## **18.8 Solar Heating**

18.8.1 Solar heated hot water systems may be used.

18.8.2 Only remote tank and solar panels will be permitted i.e. combined tank and panels on roof not allowed.

18.8.3 Solar panel installations will be subject to the approval of the Kenrock Design Review Committee.



## 19 BUILDING PLAN SUBMISSION

### 19.1 General

19.1.1 All proposals will be subject to scrutiny and approval by the Association.

### 19.2 Information Required on Plans

The following information must be indicated on plans being submitted for scrutiny at both sketch design and verified at working drawing stage:

19.2.1 Contour base plan with contours at 500mm indicated.

19.2.2 Permissible coverage and actual coverage as a percentage and in terms of square meterage.

19.2.3 North sign.

19.2.4 Roof plan

19.2.5 Floor plan

19.2.6 Elevations and Sections

19.2.7 Position of driveway and hard landscaping finishes.

19.2.8 Soft landscaping layout, which includes plant species.

19.2.9 Building line setback.

19.2.10 Drainage plan

19.2.11 Location of retaining structures

19.2.12 Schedule of finishes.

19.2.13 Position of external lights.

19.2.14 Braai elevations